

PP

APPROVAL RECORD

Planning Permission

Dindigul

Dindigul district, Tamil Nadu

APPROVAL TYPE

Building Plan

ISSUING AUTHORITY

DTCP

The approval as the planning authority issued it, reproduced in full behind this page.

An approval speaks to what was sanctioned, not to what was built. Completion is a separate record.

PLAN SHOWING THE EXISTING BUILDING
OF RESTAURANT WITH GUEST ROOMS AND
GENERAL MANAGER RESIDENCE IN OLD
R.S.NO:- 318Pt.&319Pt., WARD D, BLOCK:8,
T.S.NO:16, NOYCE ROAD AT
KODAIKANAL TALUK, DINDIGUL DISTRICT.

SCALE : [1:100]

SHEET NO:01.

SITE EXTENT

AS PER DOCUMENT AREA : 7800.00 SQ.M
AS PER PATTA AREA : 7800.00 SQ.M

NORTH

Sl.No	Block	Floor Name	FSI Area (In Sq.m)	Non-FSI Area (In Sq.m)	Total build up area (In Sq.m)
1	MAIN BLOCK	GROUND FLOOR	499.00	-	499.00
		FIRST FLOOR	244.00	-	244.00
2	RM'S BLOCK	GROUND FLOOR	95.00	-	95.00
3	COTTAGE BLOCK	GROUND FLOOR	59.00	-	59.00
		FIRST FLOOR	64.00	-	64.00
	Total		961.00	-	961.00

PLOT COVERAGE AREA = $653 \times 100 = 8.37 < 60\%$
7800

FLOOR SPACE INDEX = $\frac{961.0}{7800} = 0.12 < 2.0$

NO. OF CAR PARKING REQUIRED = 10 NOS
NO. OF CAR PARKING PROVIDED = 11 NOS
NO. OF TWO WHEELER PARKING REQUIRED = 20 NOS
NO. OF TWO WHEELER PARKING PROVIDED = 20 NOS

.REFERENCE

. EXISTING ROAD

. SITE BOUNDARY

. EXISTING BUILDINGS

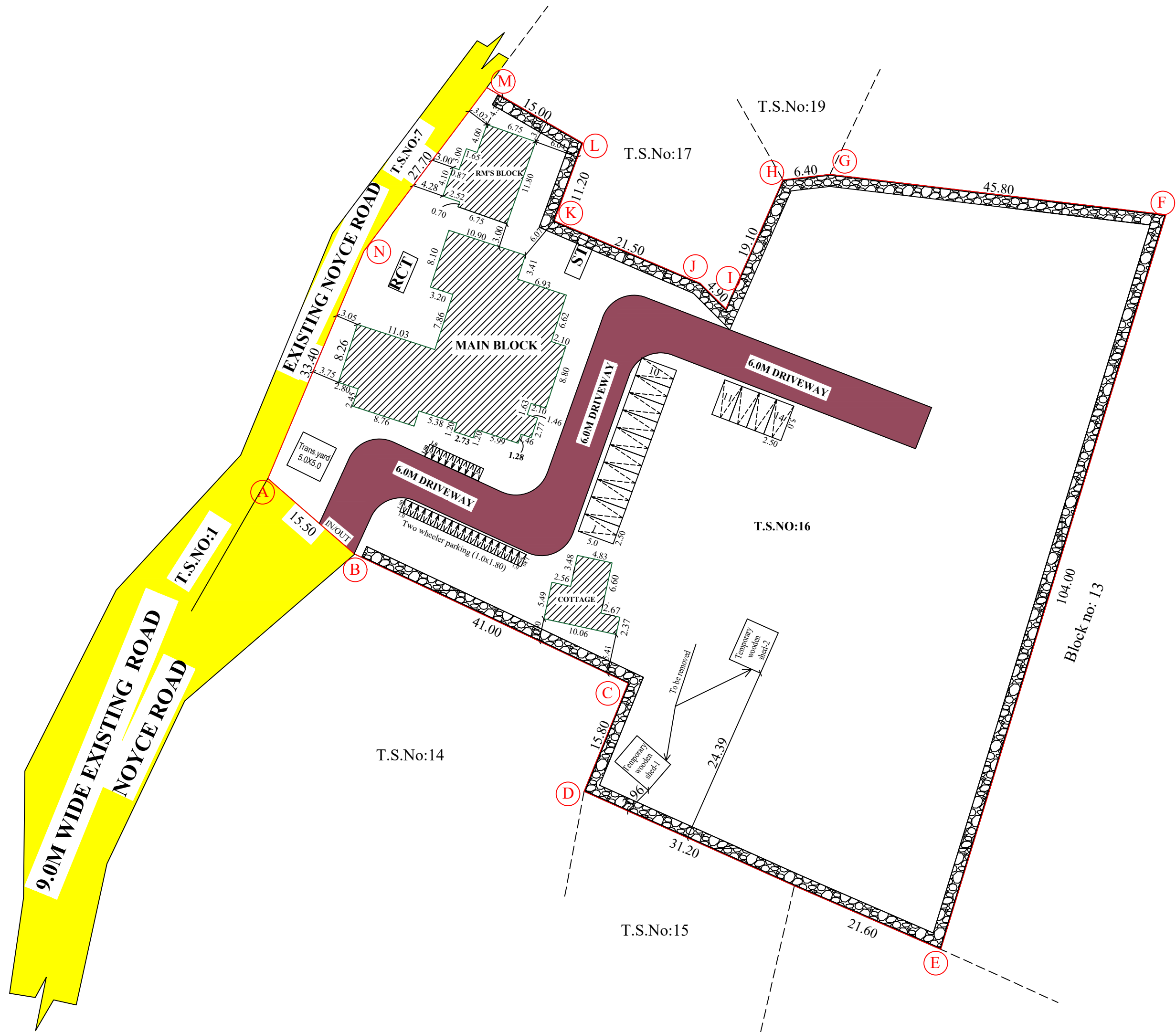
. DRIVE WAY

DRAWING SCRUTINY REFERENCE NO: 8PU7X07Z

ONLINE APPLICATION NO: SWP/BPA/015076/2023

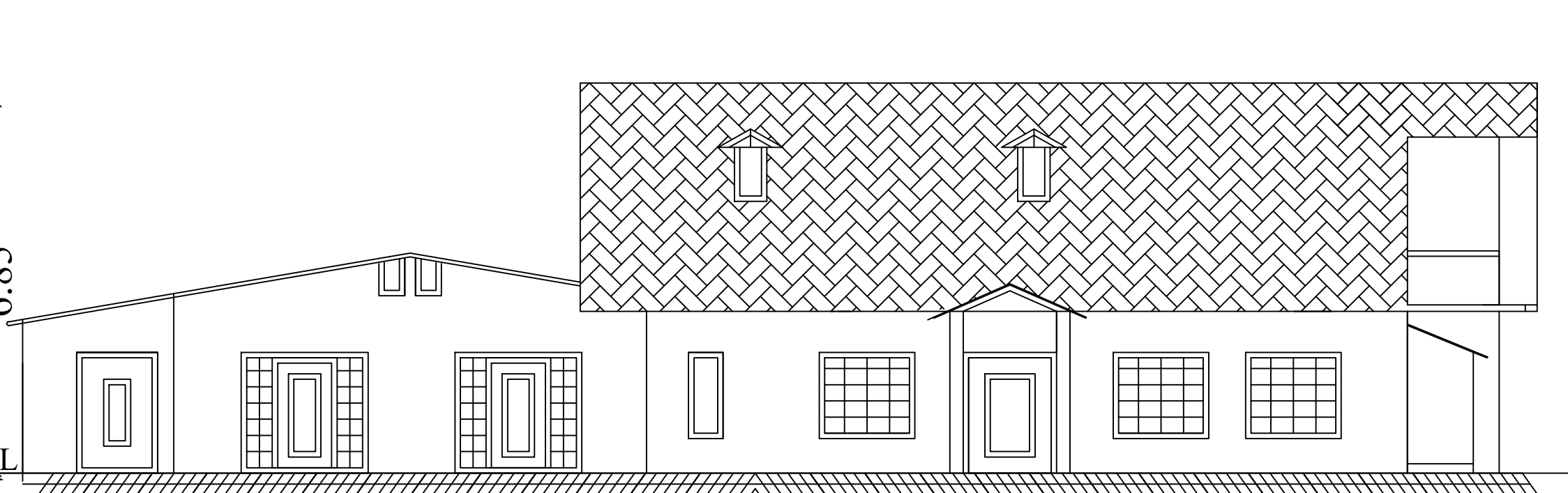
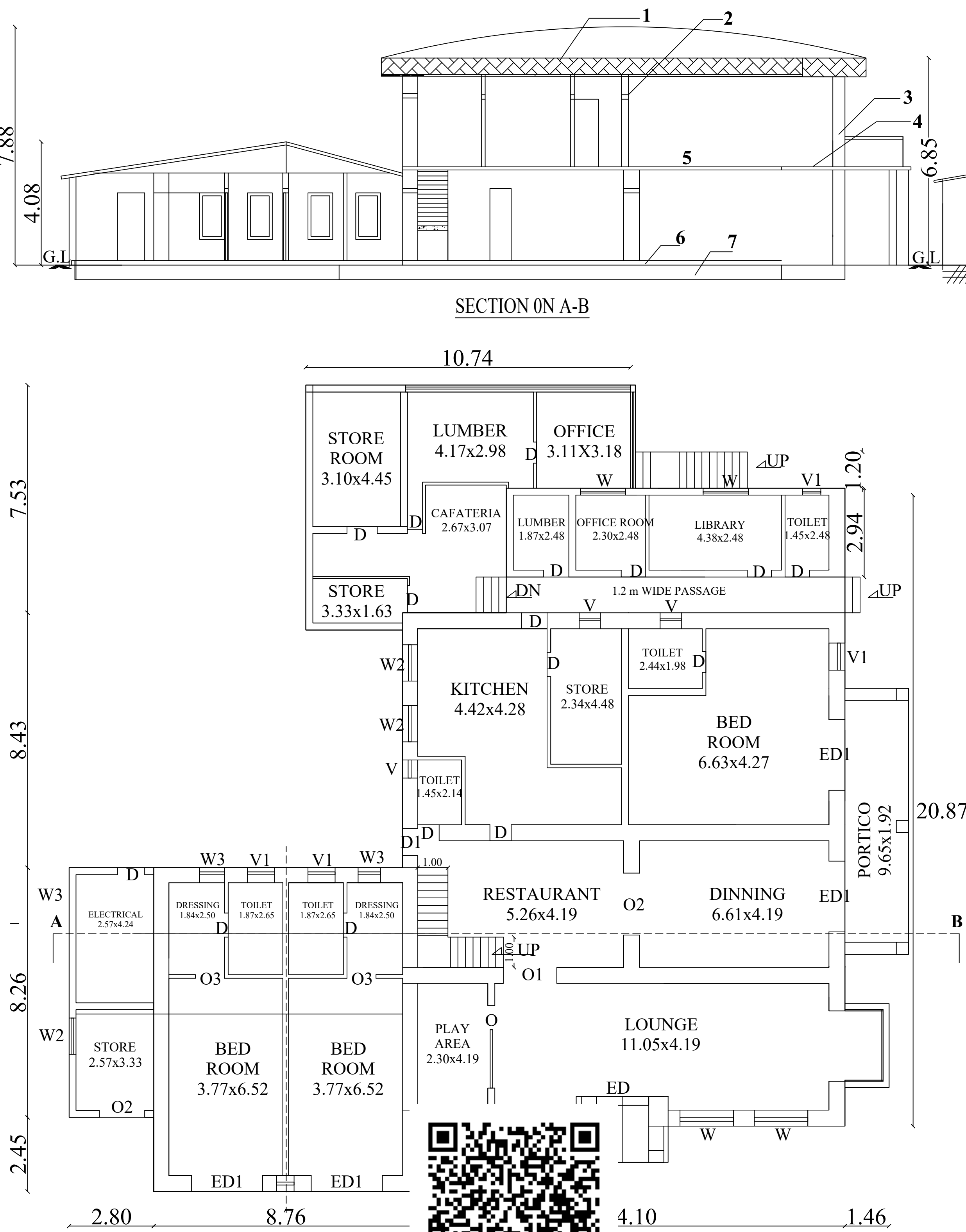
SWP/DTCP/DINDIGUL/SITE APPROVAL NO: 06/2024

SWP/DTCP/DINDIGUL/BUILDING PERMISSION NO: 35/2024

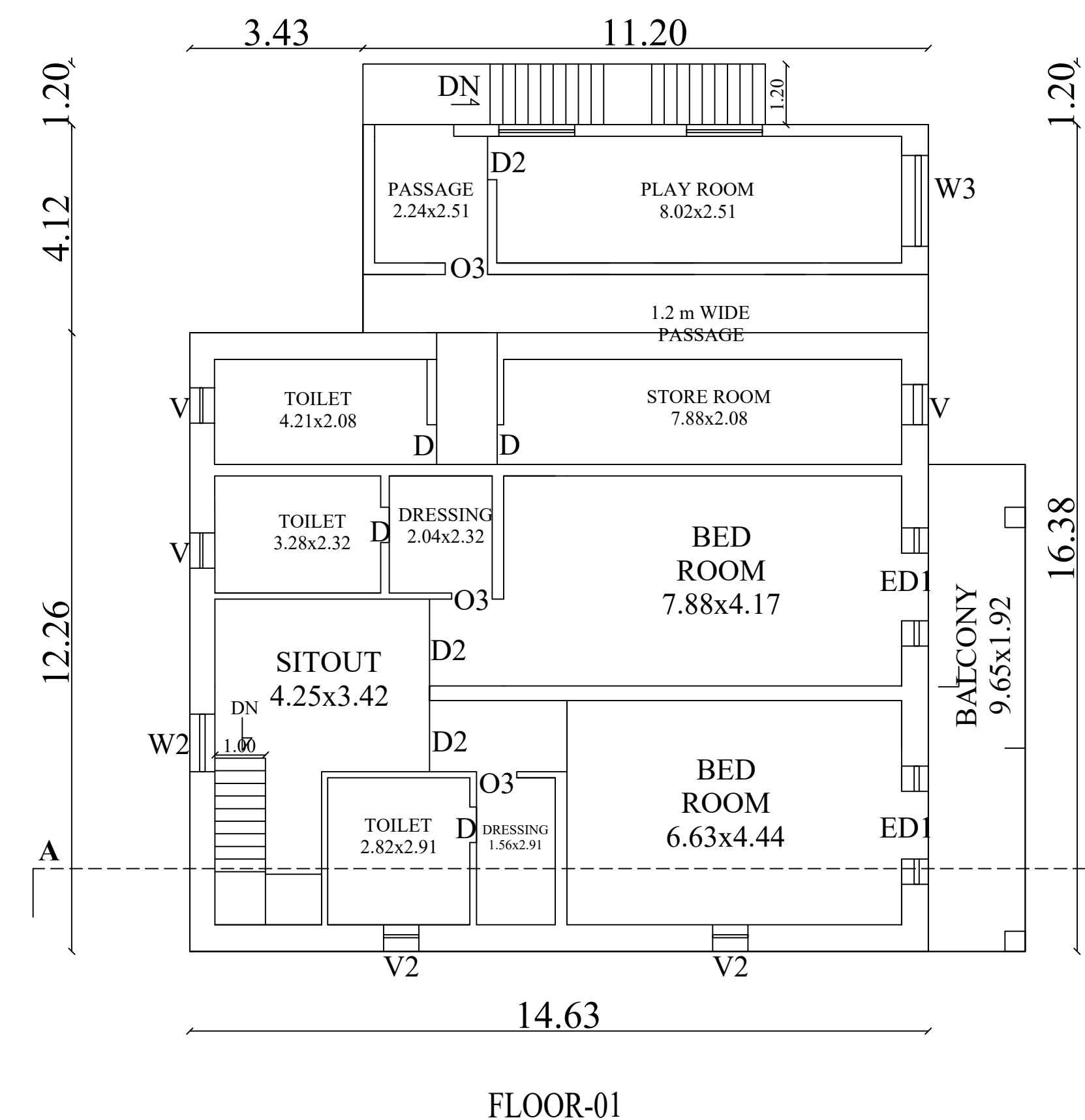


SITE PLAN

MAIN BLOCK

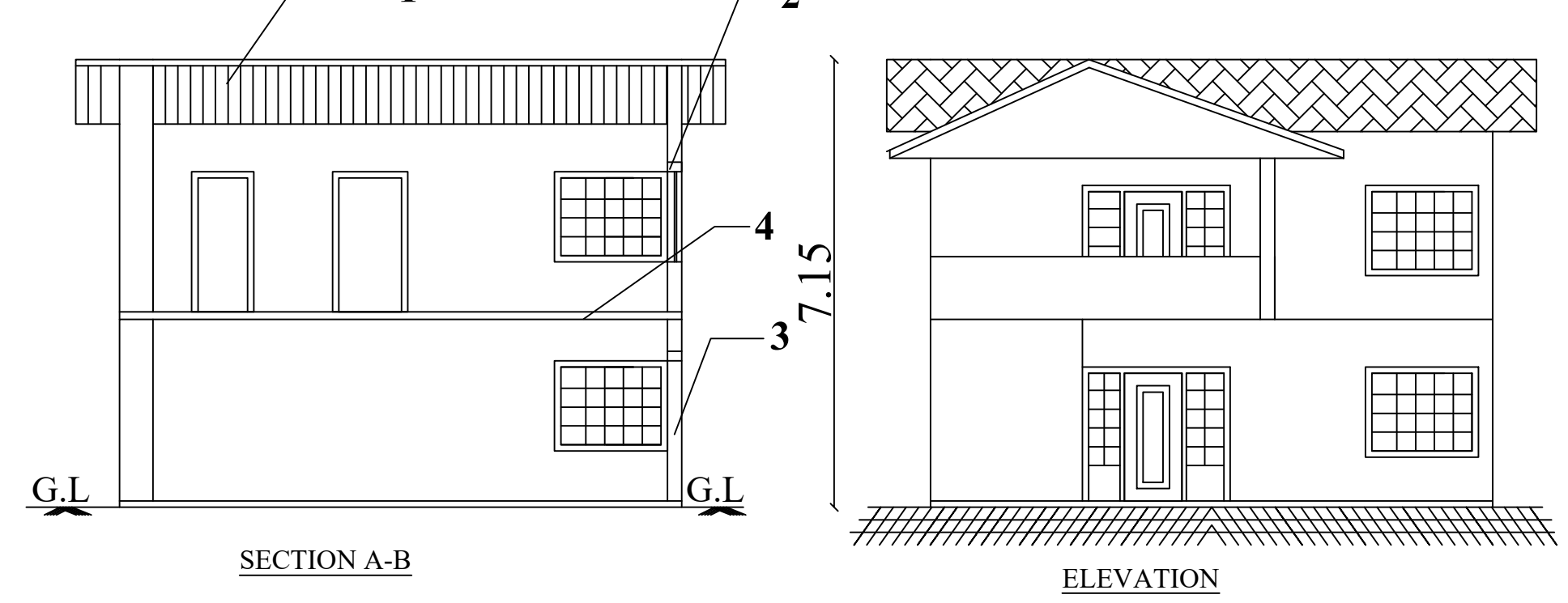


ELEVATION



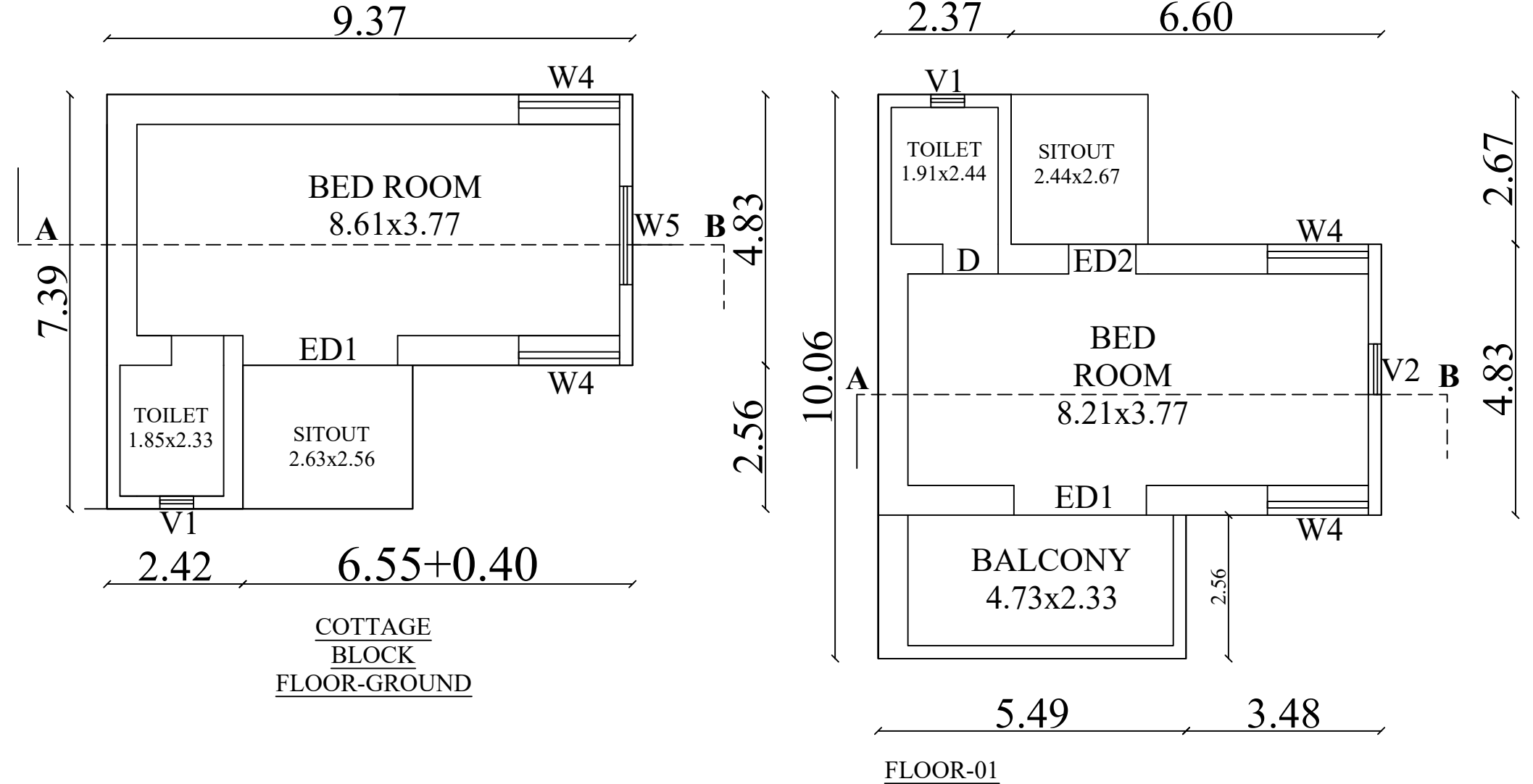
FLOOR-01

COTTAGE



SECTION A-B

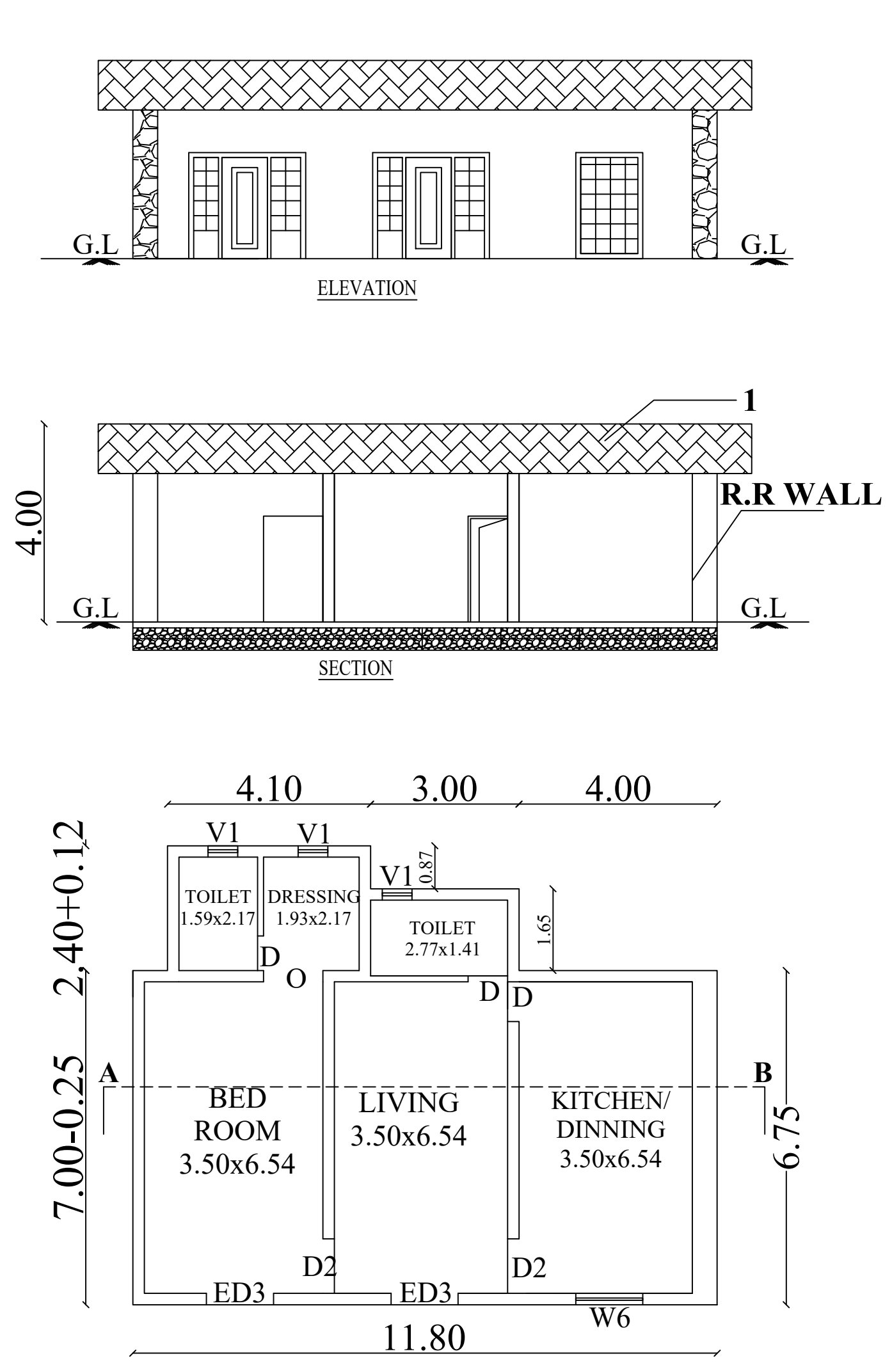
ELEVATION



COTTAGE
BLOCK
FLOOR-GROUND

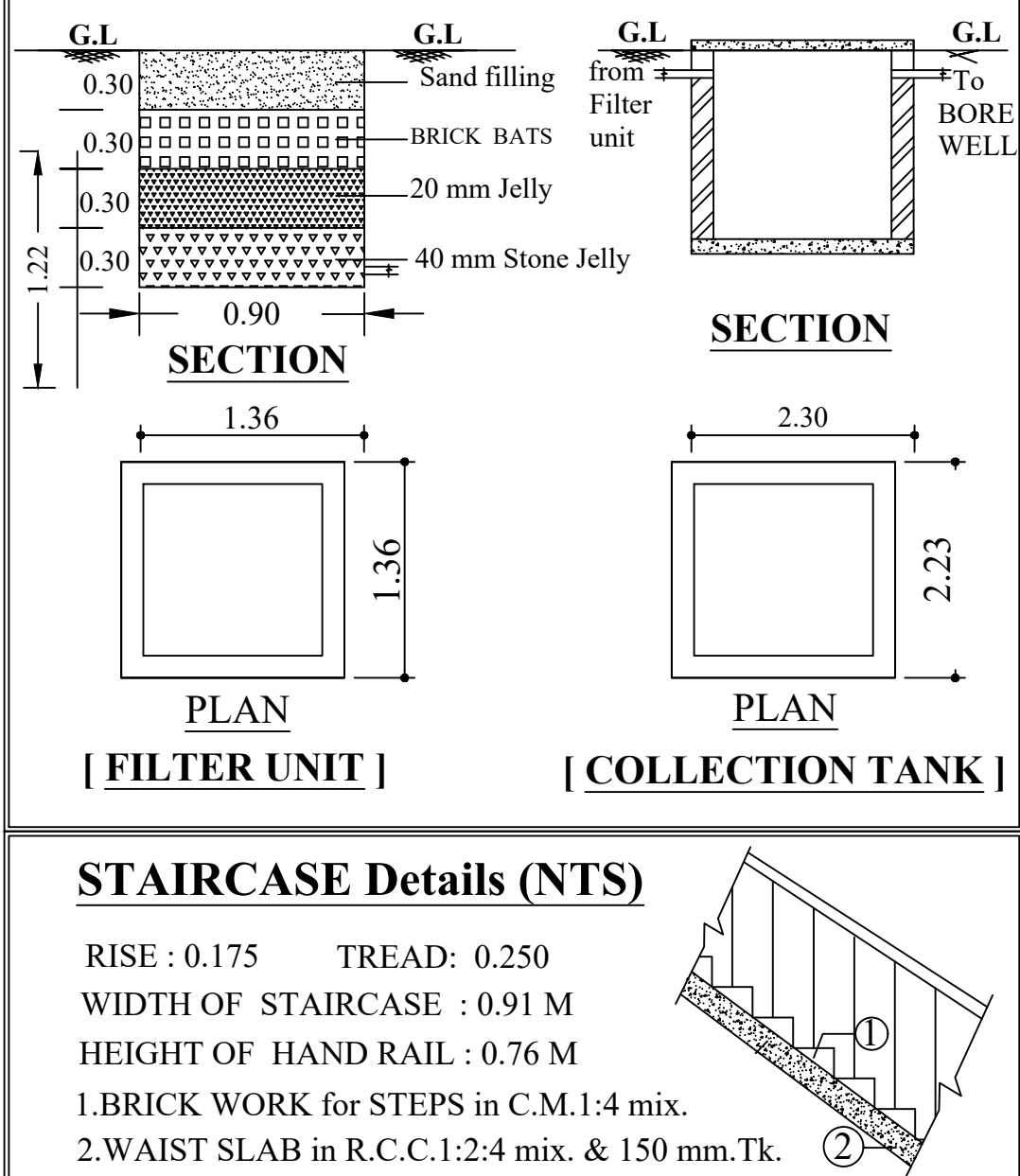
FLOOR-01

RM'S BLOCK



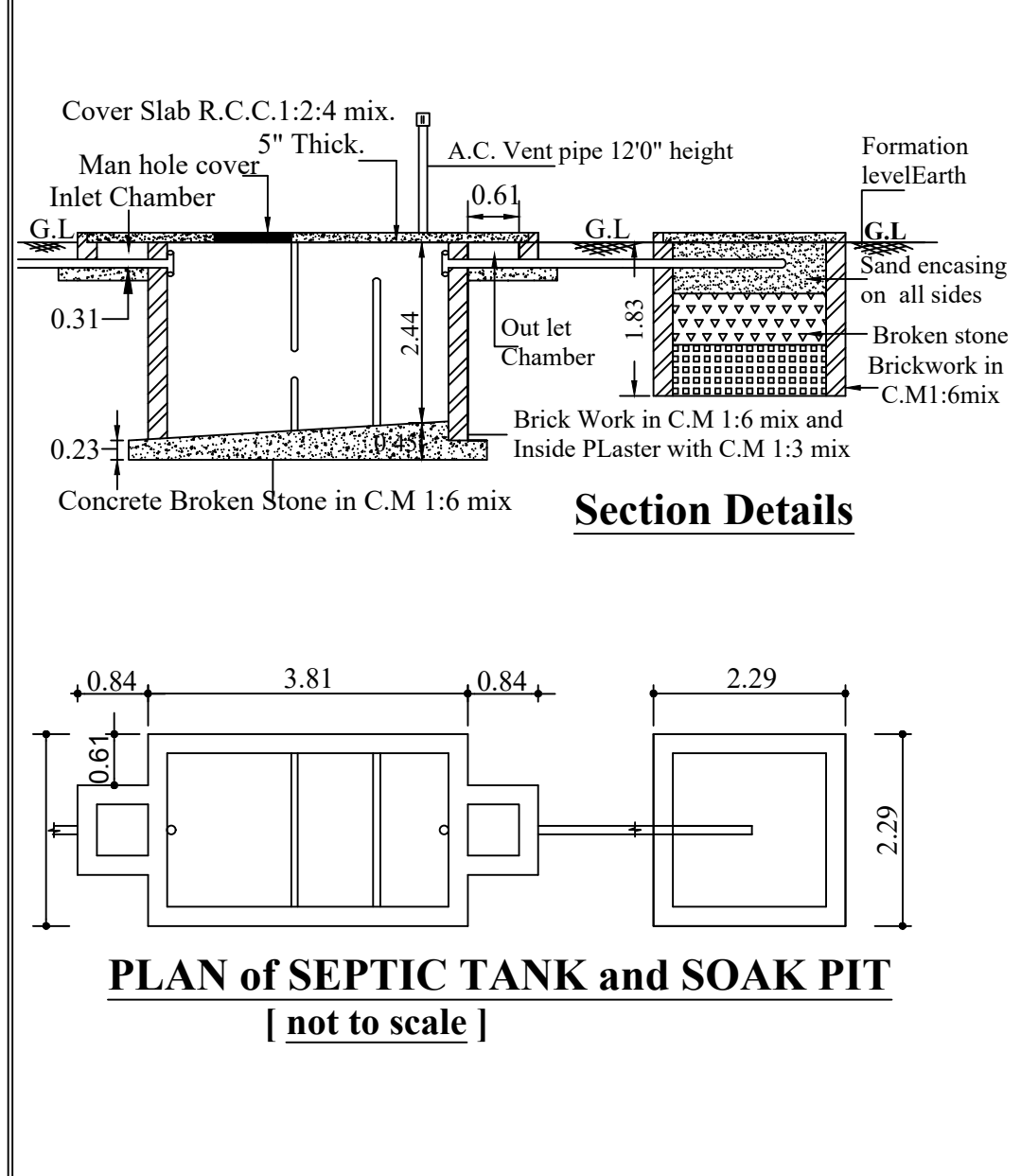
JOINERIES METRE

ED	ENTRANCE DOOR	1.73 x 2.24
ED1	ENTRANCE DOOR	2.35 x 2.24
ED2	ENTRANCE DOOR	1.20 x 2.24
ED3	ENTRANCE DOOR	1.35 x 2.24
D	DOOR	0.80 x 2.24
D1	DOOR	0.90 x 2.24
D2	DOOR	1.10 x 2.24
d	DOOR	0.70 x 2.24
O	OPEN	0.70 x 2.24
O1	OPEN	1.77 x 2.24
O2	OPEN	2.05 x 2.24
O3	OPEN	0.80 x 2.24
W	WINDOW	1.77 x 1.60
W1	WINDOW	0.54 x 1.40
W2	WINDOW	1.14 x 1.62
W3	WINDOW	0.90 x 1.40
W4	WINDOW	1.80 x 1.80
W5	WINDOW	1.70 x 1.80
W6	WINDOW	1.35 x 2.24
V	VENTILATOR	0.60 x 0.90
V1	VENTILATOR	0.90 x 1.40
V2	VENTILATOR	0.90 x 0.60

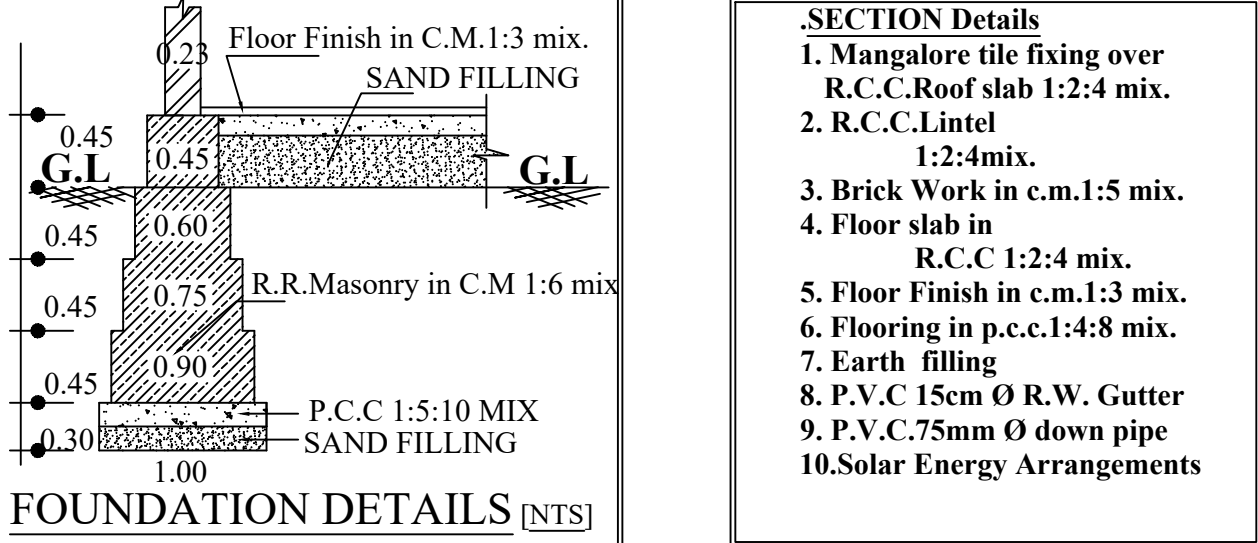


STAIRCASE Details (NTS)

RISE : 0.175 TREAD: 0.250
WIDTH OF STAIRCASE : 0.91 M
HEIGHT OF HAND RAIL : 0.76 M
1.BRICK WORK for STEPS in C.M.1:4 mix.
2.WAIST SLAB in R.C.C.1:2:4 mix. & 150 mm.Tk.



PLAN of SEPTIC TANK and SOAK PIT
[not to scale]

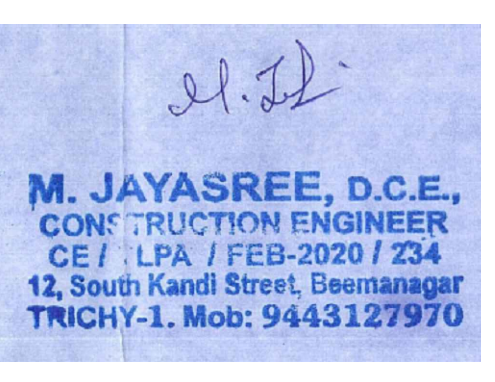


FOUNDATION DETAILS (NTS)

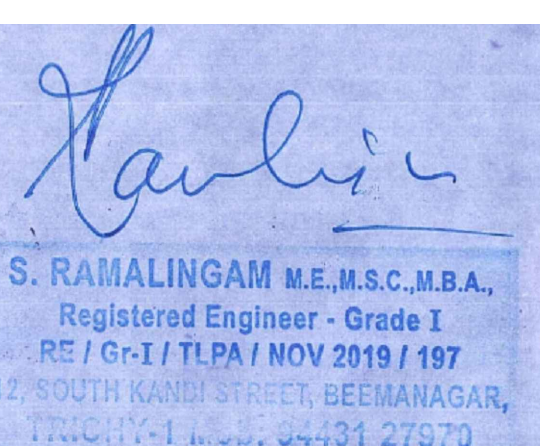
. SPECIFICATION .	
. FOUNDATION	: R.C.C COLUMN FOOTING 1:2:4 MIX OVER A BED OF C.C.1:5:10 MIX.
. BASEMENT	: R.C.C COLUMN FOOTING 1:2:4 MIX, BRICK WORK IN C.M.1:6 MIX.
. SUPERSTRUCTURE	: BRICK WORK IN C.M.1:6 MIX.
. ROOFING	: R.C.C 1:2:4 MIX ROOF.
. FLOORING	: TILE FLOORING WITH C.M.1:3 MIX. 0.1 TK.
. PLASTERING	: CEMENT PLASTERING 1:5 MIX. 0.15 TK.



.STRUCTURAL ENGINEER.



.STRUCTURAL ENGINEER.



.REGISTERED ENGINEER.



. APPLICANT.

Eight ways to know a piece of land before you pay for it.

This report covers one part of the picture. These cover the rest, drawn from the same government records, for any property in Tamil Nadu.

LandLens One

Ask anything about a property and get an answer grounded in live government records, with the sources shown.

[/landlens/one](#)



Verify My Land

Every record check run on one property and returned as a single report.

[/landlens/verify-my-land](#)



Legal Opinion

An advocate's written opinion on the title, built on the records we pull for it.

[/landlens](#)



One Map

Every layer on one map: the parcel, its boundary, zoning, water bodies and what sits around it.

[/landlens/one/map](#)



PriceMap

What land actually changed hands for around this plot, taken from the registered deeds.

[/landlens/pricemap](#)



Build Scope

What you are allowed to build here: floor space, height, coverage and setbacks.

[/landlens/build-scope](#)



Property Tracker

Watch a property and hear about it when something new is registered against it.

[/landlens/property-tracker](#)



Deal Room

Run the transaction in one place: documents, stamping, signatures and the parties.

[/landlens/deal-room](#)



Twenty-four checks you can run yourself, at no cost.

Records and verification

The registers themselves, read for you.

Encumbrance Certificate

Patta and Chitta

Field Measurement Sketch

EC Analyzer

Bank charge check

Court case search

Seller background check

Approval check by survey

Value and duty

What it is worth and what it costs to register.

Guideline value by street

Guideline value by survey

Stamp duty and registration fees

Capital gains

Floor space index

Area unit converter

Zoning and land use

What the plan says can happen on this land.

Land use zone finder

CMDA land use check

Coastal regulation zone

Master plan check

Water bodies finder

Airport height clearance

Registers and directories

Who holds it, and which office keeps the record.

Find your registering office

Temple property check

Waqf property check

RERA register



Every free tool
/tools



Services we run
for you
/services



The LandLens
suite
/landlens/one



Every claim in this document traces back to a government record.

Legal opinions, due diligence and title verification

Building plan, layout and sub-division approvals

Completion and occupancy certificates, regularisation

Escrow, negotiation and NRI property management

Land survey, soil testing, architecture and construction

Verified RealEstate
3/350/2 Mettukuppam,
OMR Thoraipakkam,
Chennai 600 097, India
hello@verified.realestate
+91 9996 12 9996

Prepared from the registers named on the page each finding sits on. Where a register could not be read, this document says so in its place rather than leaving the gap to be read as a clean result.

