

PP

APPROVAL RECORD

Planning Permission

Dindigul district, Tamil Nadu

APPROVAL TYPE

Building Plan

ISSUING AUTHORITY

DTCP

The approval as the planning authority issued it, reproduced in full behind this page.

An approval speaks to what was sanctioned, not to what was built. Completion is a separate record.

SCALE 1:100

EXISTING APPROVAL DETAILS:
APPLICATION NO. ந.க.எண்:1706/2022/திமா2
SITE APPROVAL NO. ம.வாதி.உ.தி.கு.எண்:25/2022, நாள்:08.07.2022
PLANNING PERMISSION NO. க.வாதி.உ.தி.கு.எண்:27/2022, நாள்:08.07.2022

REVISED APPROVAL DETAILS:
ONLINE APPLICATION NO.SWP/BFA/167457/2024/TCP
SWP / DTCP / DINDIGUL / PLANNING PERMISSION NO. 16/2024
(IT IS REVISED THE PLANNING PERMISSION NO. 27/2022)

SCHEDULE OF JOINERIES:		
MD	- MAIN DOOR	3.05 X 3.05
MD1	- MAIN DOOR	1.63 X 2.44
MD2	- MAIN DOOR	1.00 X 2.44
RS	- ROLLING SHUTTER	1.83 X 2.44
LD	- LIFT DOOR	1.00 X 2.14
SD	- STEEL DOOR	1.52 X 2.44
D	- DOOR	1.22 X 2.44
D1	- DOOR	0.76 X 2.44
D2	- DOOR	0.76 X 2.44
W	- WINDOW	1.37 X 1.52
W1	- WINDOW	1.52 X 1.52
W2	- WINDOW	1.37 X 1.06
W3	- WINDOW	1.83 X 1.52
W4	- WINDOW	1.07 X 1.52
FGW	- FIXED GLAZED WINDOW	1.37 X 1.00
FGW1	- FIXED GLAZED WINDOW	1.22 X 1.22
FGW2	- FIXED GLAZED WINDOW	1.53 X 1.22
V	- VENTILATOR	0.76 X 0.61
V1	- VENTILATOR	1.00 X 0.61
O	- OPEN	2.44 X 2.44
O1	- OPEN	1.83 X 2.44

AREA OF THE SITE - 0.23.08 HEC (OR) 2308.00 SQ.MT

	IN SQ.MT	IN SQ.MT
EXG. GROUND FLOOR AREA	723.18	---
PRO. PORTICO GROUND FLOOR	37.22	---
EXG. FIRST FLOOR AREA	723.18	---
EXG. MEZZANINE FLOOR AREA	120.04	---
EXG. SECOND FLOOR AREA	267.29	---
EXG. HEAD ROOM AREA	---	45.18

PLOT COVERAGE = (760.40 / 2308.00) X100 = 32.95%
F.S.I = (1870.91 / 2308.00) = 0.81<2

PARKING AREA	
NO.OF CAR PARKING (2.50X5.00M)	- 3 NOS
NO.OF CAR PARKING (2.70X7.20M)	- 9 NOS

CAR PARKING (3.60X5.00M) - 2 NOS
NO.OF TWO WHEELER PARKING (1.00X1.80M) - 31 NOS
NO.OF PHYSICALLY HANDICAPPED
TWO WHEELER PARKING (1.50X1.80M) - 2 NOS

COLOUR INDEX	
SITE BOUNDARY	
PROPOSED BUILDING	
EXISTING BUILDING	
EXISTING ROAD	
DRIVEWAY	
RAIN WATER PERCULATION BED	

NOTE

1. BORE WELL WITH MOTOR, WATER TANK AND CORPORATION WATER SUPPLY WILL BE PROVIDED
2. SULLAGE WASTE FROM TOILET WILL BE CONNECTED INTO EXISTING CORPORATION UNDER GROUND DRAINAGE SYSTEM
3. SOLAR WATER PERCOLATION PITS OF 4 NOS. PROVIDED @ 1/30 SQM OF PLINTH AREA
4. RAIN WATER PERCOLATION BED 1.0M WIDE WILL BE PROVIDED AROUND THE BUILDING AS PER GO (MS) NO: 138 DATED 11-02-02.
5. PERCOLATION BED OUT SIDE ALONG PLINTH TO BE PROVIDED
6. TWO DOWN SLOTTED DRAIN PIPES LEADS RAIN WATER PERCOLATION PIT ALONG PLINTH
7. RAIN WATER TAKEN TO THE BORE WELL THROUGH 150MM DIA PIPES
8. RAIN WATER COLLECTED FROM OPEN TERRACE SHALL BE COLLECTED THROUGH DOWN SLOTTED DRAIN INTO A FILTER PIT (SIZE 60 X 60 X 60CM) WITH APPROPRIATE FILTER MATERIAL. AND THEN LED INTO COLLECTION TANK
9. SOLAR WATER HEATER LINE ARRANGEMENTS WILL BE PROVIDED.

10. ALL NECESSITIES ARE TO BE PROVIDED.

11. FA - FIRE ALARM PROVIDED	
12. FE - FIRE SAFETY MEASURES PROVIDED.	
13. SB - SAN BUCKET PROVIDED	

APPLICANT
H. Muthukrishnan.
M. Annalakshmi

ENGINEER/LS

M. Saif Ahmed

Er. M. SAIF AHAMED, P.E.,
OLPA #E 02/2019 GR-1,
734/S, OLD KARUR ROAD,
DINDIGUL - 624 901.

ARCHITECTS

S. Vignesh Kumar

S. VIGNESH KUMAR S. Aishw
REG No: CA/2018/6767
DESIGN TREE ARCHITECTURE
11, First Floor, Sreenivasapuram,
Kannur Nagar, (Hindigal-624001),
Cell : 9955137300

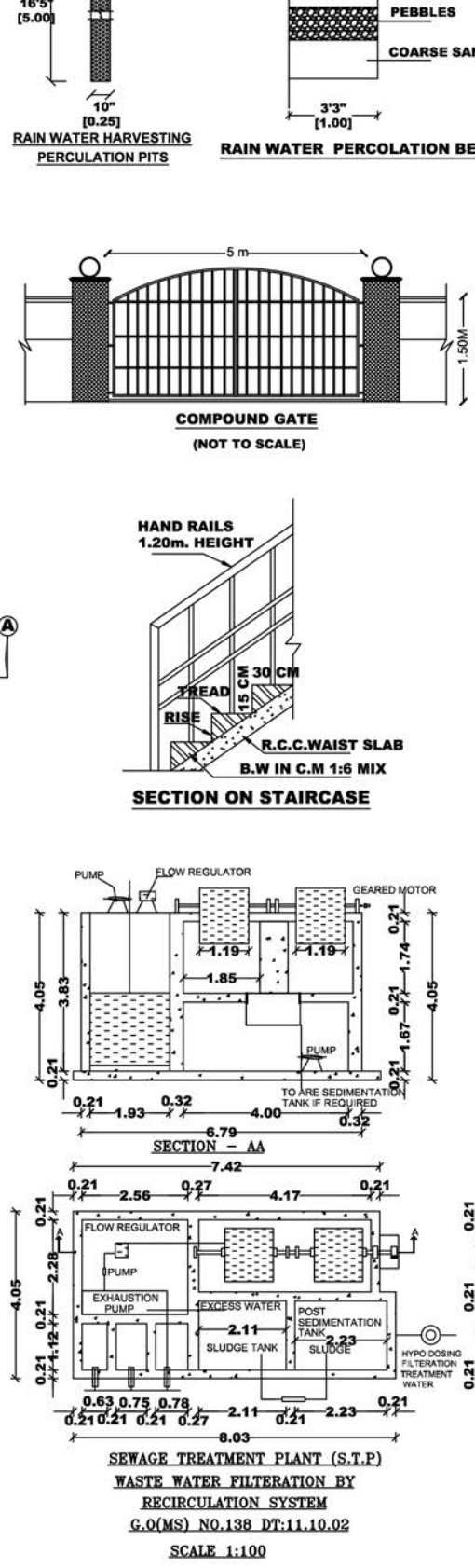
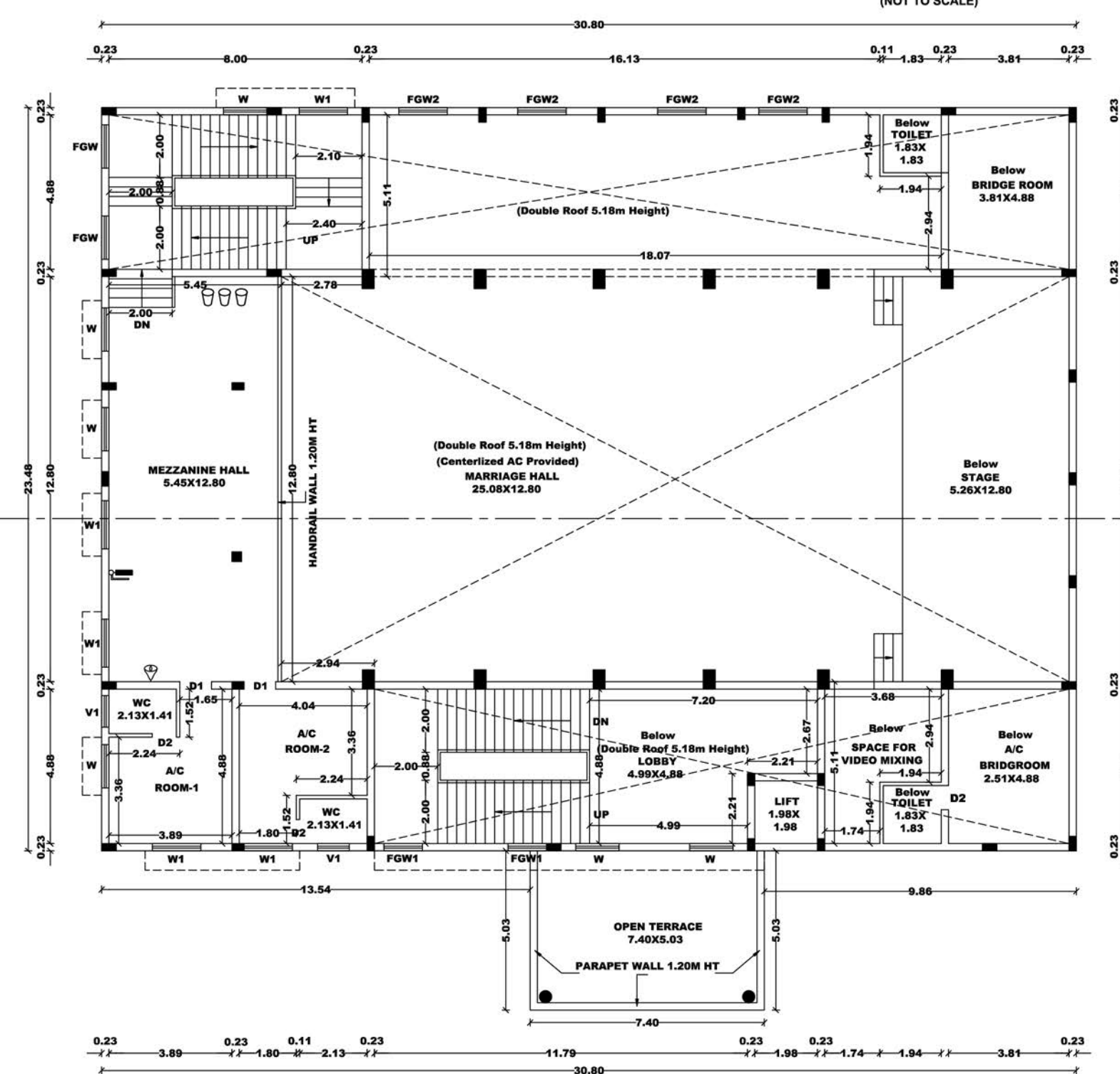
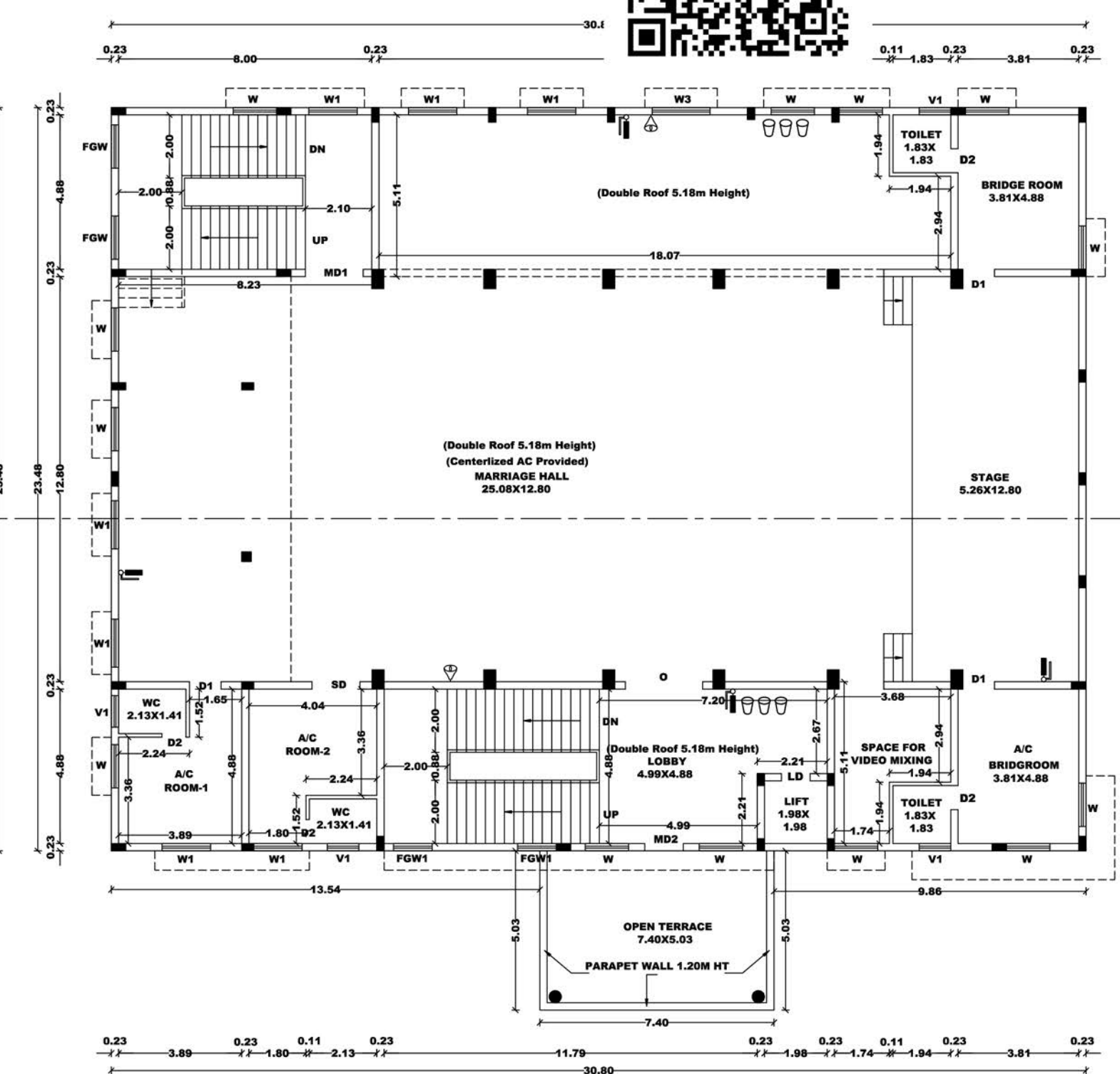
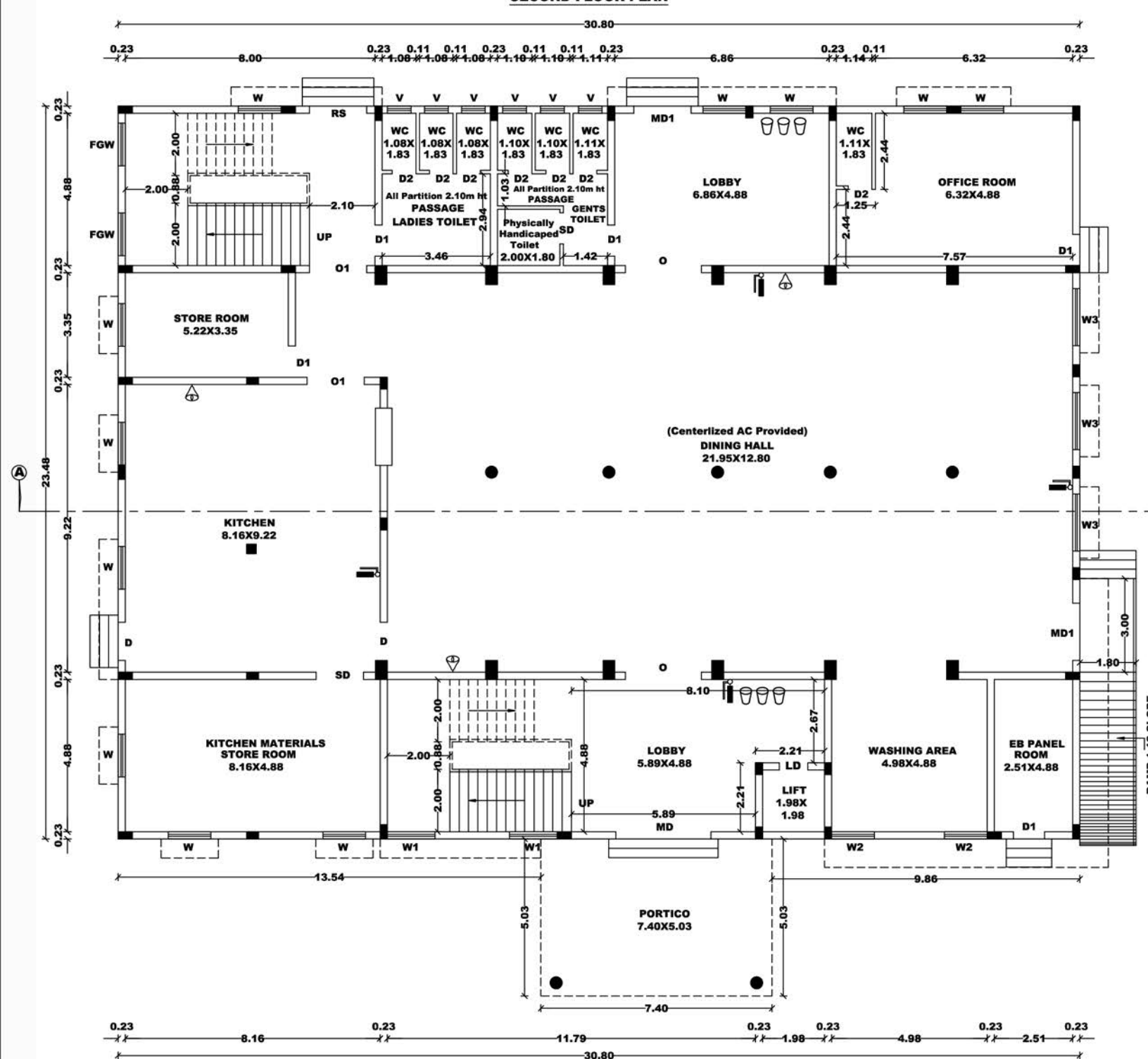
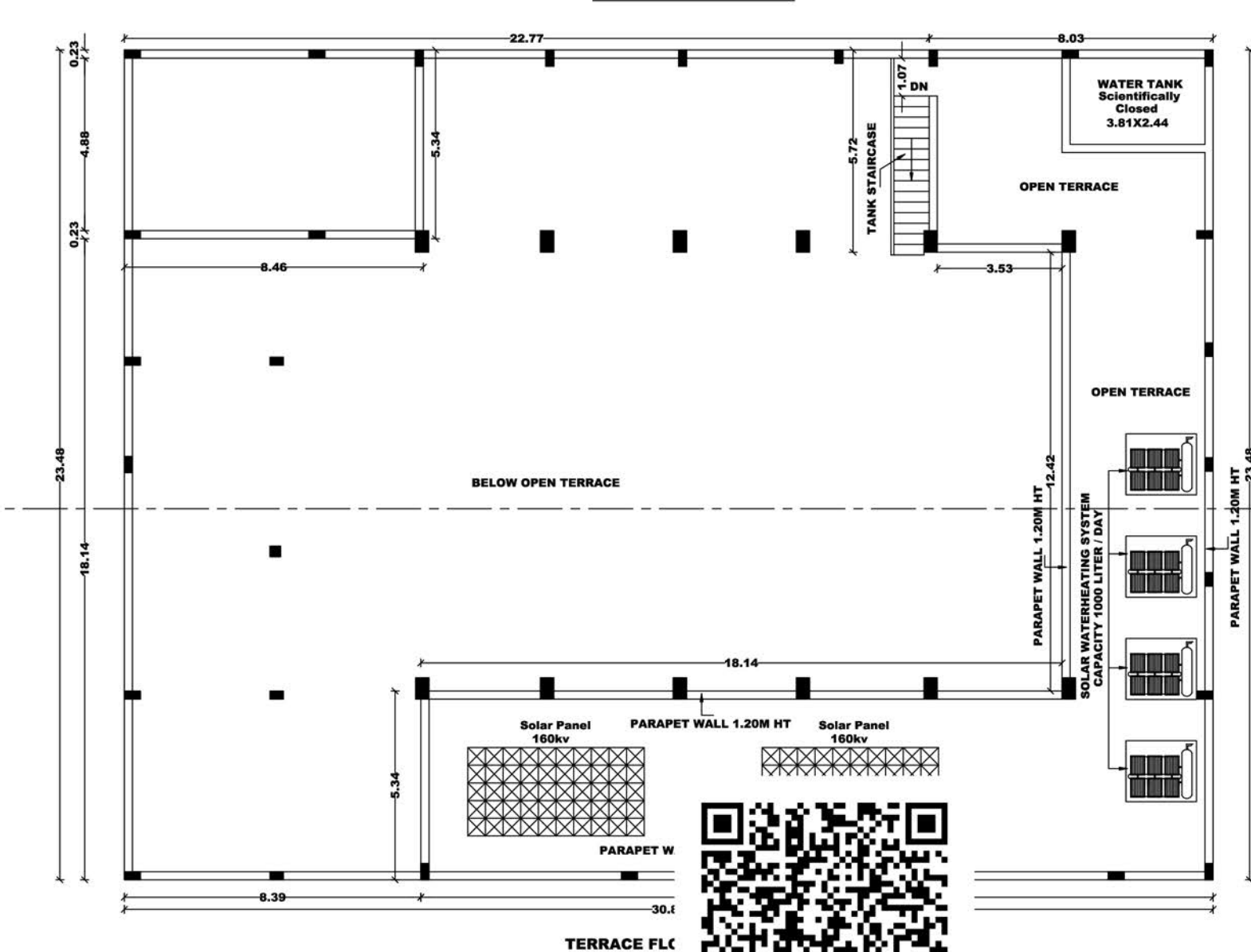
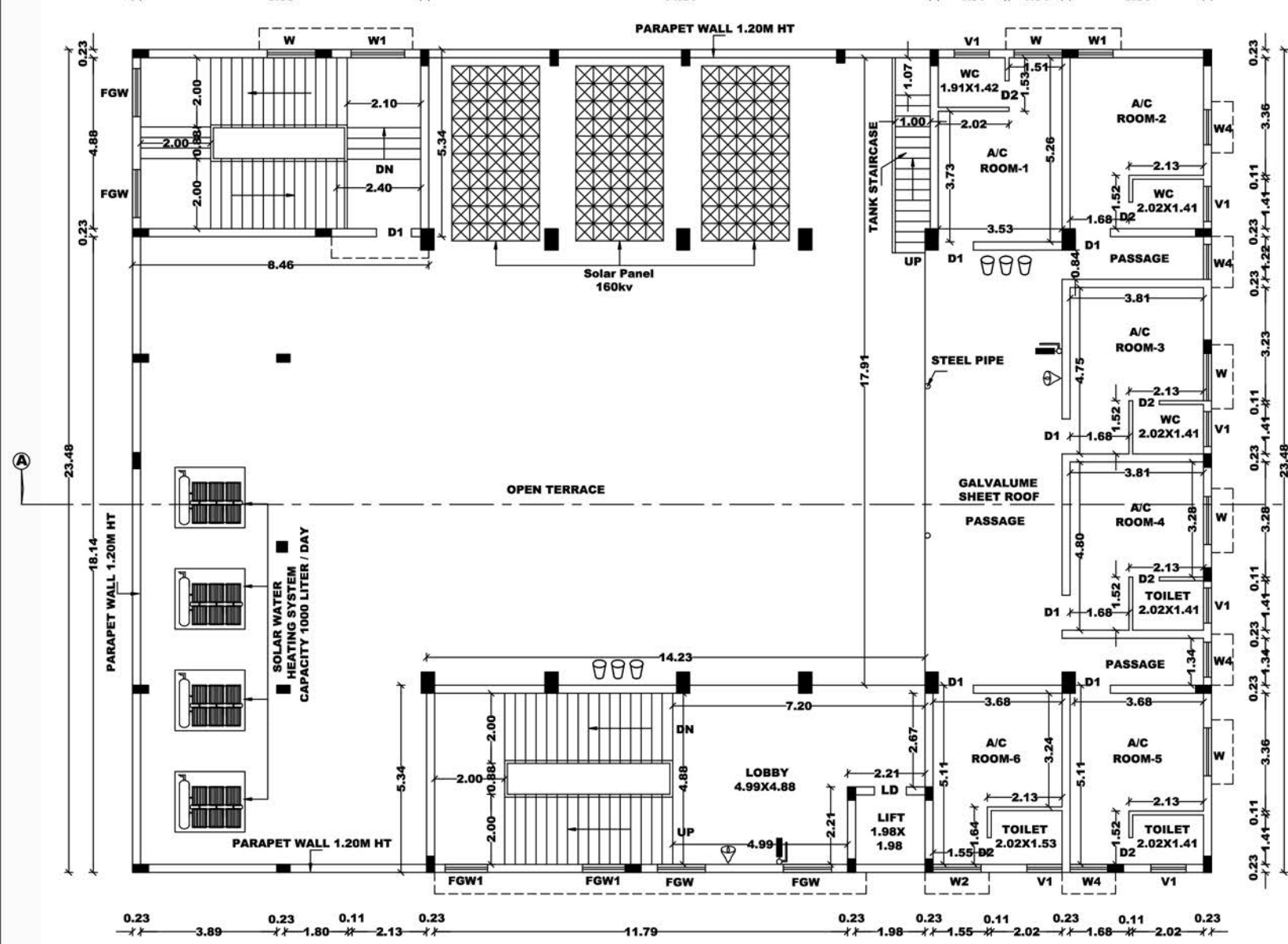
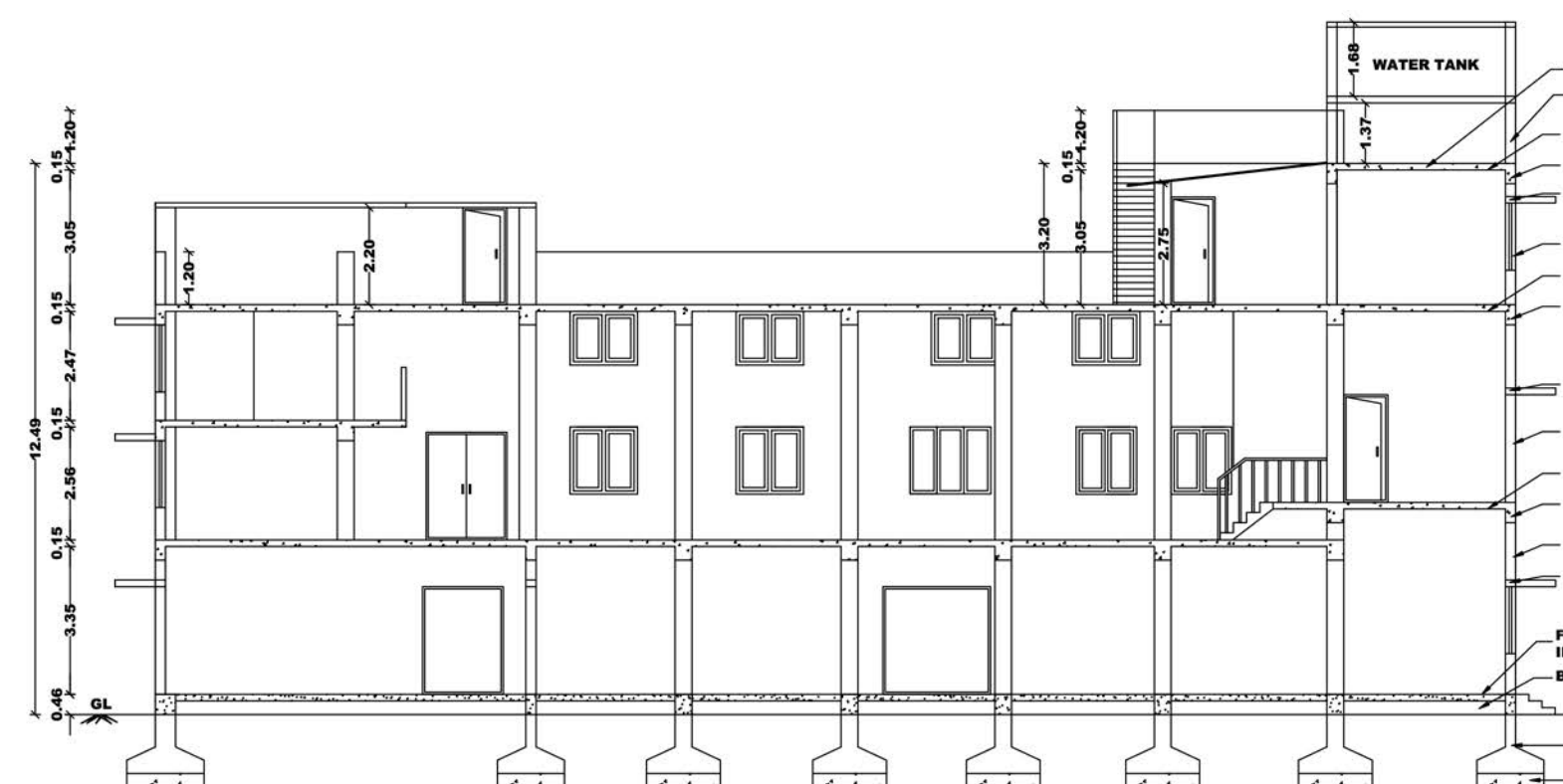
CONSTRUCTION ENGINEER

J. Sathish Kumar
E.L.SATHISH KUMAR E.E. M.B.E. P.L.V.,
Registration No. CE05/2019
Construction Engineer (CE)
11A/10, Kaitharimba Hostel Road, Dindigul-2.

STRUCTURAL ENGINEER

J. Tony Prince

J. TONY PRINCE, M.Prec., A.M.S.E.
CHARTERED ENGINEER REG NO. AM (1980-0)
REGD. STRUCTURAL ENGINEER (GRADE 1)
SE / GEN / 19/07 / 01
CIVIL & STRUCTURAL CONSULTANT
#18, 1ST FLOOR, VIVEKANANDA NAGAR
BOROCHUR, 424 001.



Signature valid
Signed by: Deputy Director
Location: Dindigul
Date: 2016-04-12 15:09:14

Eight ways to know a piece of land before you pay for it.

This report covers one part of the picture. These cover the rest, drawn from the same government records, for any property in Tamil Nadu.

LandLens One

Ask anything about a property and get an answer grounded in live government records, with the sources shown.

[/landlens/one](#)



Verify My Land

Every record check run on one property and returned as a single report.

[/landlens/verify-my-land](#)



Legal Opinion

An advocate's written opinion on the title, built on the records we pull for it.

[/landlens](#)



One Map

Every layer on one map: the parcel, its boundary, zoning, water bodies and what sits around it.

[/landlens/one/map](#)



PriceMap

What land actually changed hands for around this plot, taken from the registered deeds.

[/landlens/pricemap](#)



Build Scope

What you are allowed to build here: floor space, height, coverage and setbacks.

[/landlens/build-scope](#)



Property Tracker

Watch a property and hear about it when something new is registered against it.

[/landlens/property-tracker](#)



Deal Room

Run the transaction in one place: documents, stamping, signatures and the parties.

[/landlens/deal-room](#)



Twenty-four checks you can run yourself, at no cost.

Records and verification

The registers themselves, read for you.

Encumbrance Certificate

Patta and Chitta

Field Measurement Sketch

EC Analyzer

Bank charge check

Court case search

Seller background check

Approval check by survey

Value and duty

What it is worth and what it costs to register.

Guideline value by street

Guideline value by survey

Stamp duty and registration fees

Capital gains

Floor space index

Area unit converter

Zoning and land use

What the plan says can happen on this land.

Land use zone finder

CMDA land use check

Coastal regulation zone

Master plan check

Water bodies finder

Airport height clearance

Registers and directories

Who holds it, and which office keeps the record.

Find your registering office

Temple property check

Waqf property check

RERA register



Every free tool
/tools



Services we run
for you
/services



The LandLens
suite
/landlens/one



Every claim in this document traces back to a government record.

Legal opinions, due diligence and title verification

Building plan, layout and sub-division approvals

Completion and occupancy certificates, regularisation

Escrow, negotiation and NRI property management

Land survey, soil testing, architecture and construction

Verified RealEstate
3/350/2 Mettukuppam,
OMR Thoraipakkam,
Chennai 600 097, India
hello@verified.realestate
+91 9996 12 9996

Prepared from the registers named on the page each finding sits on. Where a register could not be read, this document says so in its place rather than leaving the gap to be read as a clean result.

